

RESOLUTION NO. 2010-272

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING A DESIGN REVIEW FOR THE LAGUNA RIDGE APARTMENTS
PROJECT EG-10-053, ASSESSOR PARCEL NUMBER: 132-2110-001**

WHEREAS, the Planning Division of the City of Elk Grove received an application on August 25, 2010 requesting a Specific Plan Amendment, Rezone, and Design Review for the Laguna Ridge Apartments, Project No. EG-010-053 (the Project); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as Assessor Parcel Number 132-2110-001; and

WHEREAS, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15183 of Title 14 of the California Code of Regulations; and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on October 21, 2010 and November 18, 2010 and recommended City Council approval of the project.

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, the City Council held a duly noticed public hearing as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Elk Grove hereby approves the Design Review subject to the conditions of approval contained in Exhibit A and as illustrated Exhibit B, incorporated herein by this reference. based on the following findings:

Design Review

Finding: The proposed project is consistent with the Citywide Design Guidelines and the Elk Grove Town Center Design Guidelines.

Evidence: The project has been designed with an urban character consistent with the requirements of the Elk Grove Town Center Guidelines. The project includes a simple design, with flat roofs, contemporary materials and colors to provide visual interest, and pedestrian connectivity throughout the site and to the commercial property to the north.

Finding: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The site plan, building elevations, and landscape plan have been reviewed in accordance with the Citywide Design Guidelines for non-residential land uses and the Elk Grove Town Center Design Guidelines, and it is concluded that the project's architecture and site planning meet all applicable design requirements. The project has been designed with an urban character consistent with the requirements of the Elk Grove Town Center Guidelines. The project includes a simple design, with flat roofs, contemporary materials and colors to provide visual interest, and pedestrian connectivity throughout the site and to the commercial property to the north.

Finding: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The project has been designed with an urban character consistent with the requirements of the Elk Grove Town Center Guidelines. The project includes a simple design, with flat roofs, contemporary materials and colors to provide visual interest, and pedestrian connectivity throughout the site and to the commercial property to the north. The elevations have clear design concept consistent with the requirements of the Guidelines for the project to act as a transition between the commercial property to the north and single-family residential land uses to the south.

Finding: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence: The project site includes six (6) pedestrian access points from adjacent streets for pedestrian circulation throughout the site and to the commercial property to the north; the pathways are enhanced with pedestrian arches and enhanced paving material. There is a plaza in the center of the site with trellises and other site amenities consistent with the Laguna Ridge Supplemental Design Guidelines.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 8th day of December 2010.



SOPHIA SCHERMAN, MAYOR of the
CITY OF ELK GROVE

ATTEST:


JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:


SUSAN COCHRAN, CITY ATTORNEY

EXHIBIT A

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
On-Going			
<p>1. The development approved by this action is for a Specific Plan Amendment, Rezone, and Design Review as illustrated in the project plans dated:</p> <ul style="list-style-type: none"> • Site Plan (received November 4, 2010) • Elevations B, F, H (received October 26, 2010) • Floor Plans B, H, F (received November 10, 2010) • Parking Reduction request to provide for a total of 407 on-site off-street parking spaces <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. The Applicant or Successors in Interest (referred to in these Conditions of Approval as "Applicant") shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>3. This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
4.	The Applicant is notified that this property is part of the Laguna Ridge Specific Plan (LRSP) project (EG-00-062). This project is subject to all applicable conditions of approval and mitigation measures from the LRSP Mitigation Monitoring and Reporting Program (MMRP) recorded June 28, 2005 for the subject property.	On-Going	Planning	
5.	The Applicant is notified that this property is part of the Laguna Ridge Town Center project (EG-07-066). This project is subject to all applicable mitigation measures and conditions of approval from the Laguna Ridge Town Center project. See condition #6 for requirements related to the recordation of the Laguna Ridge Town Center Mitigation Monitoring and Reporting Project (MMRP) prior to the start of construction.	On-Going	Planning	
Prior to Improvement Plans/Grading/Construction				
6.	The Applicant shall record the Laguna Ridge Town Center Mitigation Monitoring and Reporting Program (EG-07-066) for the parcel(s) of this development. Prior to the issuance of any grading permits, the Applicant shall comply with, record, and pay fees for the Mitigation Monitoring and Reporting Program (MMRP) associated with the project. Until the MMRP has been recorded and the estimated MMRP deposit of \$3,000 has been paid, no grading, building, sewer connection, water connection, or occupancy permit from the City will be approved.	Prior to Issuance of a Grading Permit / Improvement Plans	Planning	
7.	The Applicant shall maintain all landscaping consistent with the requirements of the Laguna Ridge Supplemental Design Guidelines.	On-Going	Planning	

	<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
8.	<p>The following shall be required as notes on all improvement plans, grading plans, and construction plans:</p> <ul style="list-style-type: none"> • "The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontological artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action." • "All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed." 	Shown on improvement plans, grading plans, and construction plans	Planning	
9.	The Applicant shall submit Landscape Plans consistent with the Laguna Ridge Supplemental Design Guidelines, Title 14 (Water Use and Conservation), and Title 23 (Zoning) requirements (including parking lot shading requirements) for review and approval by the Police Department, Planning Department, and Public Works Department prior to approval of Improvement Plans and to the satisfaction of the Planning Director.	Improvement Plans	Planning Public Works Police Department	
10.	All enhanced internal pedestrian walkways onsite shall be designed with interlocking pavers (6cm thick; style: Appian Way) consistent with the requirements of the Laguna Ridge Supplemental Design Guidelines and to the satisfaction of the Planning Director.	Improvement Plans	Planning	
11.	All streetscape landscaping shall be consistent with the requirements of the Laguna Ridge Supplemental Design Guidelines and to the satisfaction of the Planning Director.	Improvement Plans	Planning	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
12.	The Elk Grove Town Center District Monumental shall be designed and installed consistent with the requirements of the Elk Grove Town Center Design Guidelines.	Improvement Plans/Building Permit	Planning	
13.	The project shall not cause a net loss of storage, nor an increase in velocity, of drainage water within the 100-year floodplain. The Applicant shall prepare and submit a drainage study and plan that includes, but is not limited to: a pre- and post-project drainage analysis of the project and project impacts; and the proposed connections to the City Storm Drainage System with adequate supporting calculations. The study shall incorporate the City of Elk Grove Drainage Capital Improvement Plan; be consistent with the ultimate upstream development in the General Plan, and any specific, area, or master plans; and shall conform to the City of Elk Grove Improvement Standards. The study shall further demonstrate that the project lies outside the 100-year frequency floodplain after improvements are constructed in accordance with the policies in the City Floodplain Management Plan. The study must be completed and stamped by a Professional Engineer and determined by the City to be accurate, and adequate.	1 st Improvement Plan Submittal	Public Works	
14.	The Applicant shall identify all deviations from City Standards on the site plan. Deviations not identified on the site plan may not be approved by Public Works, potentially resulting in the need for the project to be redesigned. Any granting of a deviation is at the sole discretion of the City. Amended entitlement approvals may be necessary as a result.	Improvement Plans	Public Works	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
<p>15. The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the most recent version of the Stormwater Quality Design Manual for the Sacramento Region. Post-construction source and treatment controls shall be designed in accordance with the City of Elk Grove Improvement Standards and the Stormwater Quality Design Manual. The design of post-construction source and treatment controls shall be submitted for approval with the improvement plans regardless of whether they constitute private or public improvements. A separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed shall also be submitted and accepted by the City.</p>	Improvement Plans	Public Works	
<p>16. The Applicant shall execute a maintenance agreement for stormwater quality control treatment devices to the satisfaction of Public Works.</p>	Improvement Plans	Public Works	
<p>17. The Applicant shall design and construct a gated emergency access on Wymark Drive and Civic Center Drive, at the location shown on the site plan, to the satisfaction of Public Works. The access shall be a minimum of 20 feet wide with the following design:</p> <ul style="list-style-type: none"> • Provide a 6-inch curb, painted red having a 1:1 slope between the gutter flowline and the top of curb • Install turf block, from the back of curb, for a minimum depth of 10 feet with 1-foot wide concrete strips on each side of the turf block. 	Improvement Plans / 1 st Building Permit	Public Works	
<p>18. The Applicant shall design and install the driveway on Civic Center Drive in accordance with Section 4-10 of the City of Elk Grove Improvements Standards</p>	Improvement Plans / 1 st Building Permit	Public Works	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
19. The Applicant shall submit, in addition to the complete set of record drawing improvement plans, a separate electronic file, in PDF format, of the record drawing/as-built plan sheets on the record drawing CD. Additionally, the Applicant shall complete and submit the City's drainage data spreadsheet, with complete data for all drainage structures installed, on the record drawing CD.	Prior to acceptance of Public Improvements	Public Works	
20. Identification signage issued by Public Works shall be mounted by the Applicant during streetlight installation in accordance with the approved plans. Alterations to streetlight plans shall be updated on record drawings. The Applicant shall submit, in addition to the complete set of improvement plans, a separate electronic file, in PDF format, of only the streetlight plan sheets and voltage calculations on the record drawing CD. Additionally, the Applicant shall complete and submit the City's streetlight data spreadsheet, with complete data for all streetlights installed, on the record drawing CD.	Prior to Acceptance of Public Improvements	Public Works	
Prior to Issuance of Building Permit			
21. The trash enclosures (location, design, and capacity) shall be consistent with the City's adopted "Space Allocation and Enclosure Design Guidelines for Trash and Recycling" to the satisfaction of the Planning Director.	Building Permit	Planning	
22. The Applicant shall install site amenities, including trash, ash, and recycling receptacles; drinking fountains; benches; mailboxes; tree grates and/or tree guards; and bike racks consistent with the requirements of the Laguna Ridge Supplemental Design Guidelines and to the satisfaction of the Planning Director. This specifically applies to plazas, tot lot, mail area, and all other common areas.	Building Permit	Planning	

	<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
23.	<p>All design plans and calculations shall be prepared by an Architect/Engineer licensed in the State of California and comply with the 2007 California Building Code (CBC), 2007 California Plumbing Code (CPC), 2007 California Mechanical Code, 2007 California Electrical Code (CEC) & 2007 California Energy Code. <u>This information shall be specified on the project Title Sheet.</u></p>	Building Permit	Building Department	
24.	<p>Site Plan shall properly delineate all required accessible parking stalls including van accessible stalls and all required methods of "<u>accessible paths of travel</u>" from all doors (exits/entrances) around the building to handicap parking stalls and to the "public right of way" by way of the most direct route. Also, approved detectable warning strips shall be shown at all locations required for "<u>accessible paths of travel</u>" to handicap parking stalls crossing "<u>vehicular paths of travel</u>".</p> <p><u>Note: All interior and exterior disabled access and site accessibility requirements shall comply with Chapter 11B of the 2007 CBC.</u></p>	Building Permit	Building Department	
25.	<p>The project applicant shall pay all applicable City of Elk Grove administered development impact fees in effect at the time of building permit issuance. For further information on development related fees, see the 2010 Development Related Fee Booklet at: http://www.elkgrovecity.org/finance/dfc.asp. Applicants are also advised to review the Planned Fee Updates portion of the web page, and are encouraged to sign up for email updates on the 2010 Development Related Fee Booklet and the Planned Fee Updates links on the web page (see the upper right corner of these web pages). By signing up for email updates, you will receive an email notifying you every time these web pages change, which will assist you in planning for the costs associated with your project.</p>	Building Permit	Finance	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
26. Prior to building permit, the project area shall annex into the Street Maintenance Assessment District No. 1 Zone 5 to fund a portion of the additional costs for long-term roadway maintenance related to serving the new development. The annexation process can take several months, so applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Levy Street Maintenance Assessments. For further information on this District, see http://www.elkgrovecity.org/finance/assessment-other-dist-info.asp .	Building Permit	Finance	
27. Prior to building permit, the project area shall annex into the Police Services Mello-Roos Community Facilities District 2003-2 (CFD), to fund the project's fair share of Public Safety costs. The annexation process can take several months, so applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see http://www.elkgrovecity.org/finance/cfd-information.asp .	Improvement Plans/Building Permit	Finance	
28. The Applicant shall improve a 25' landscape corridor on Big Horn Blvd to the satisfaction of Public Works.	1 st Building Permit	Public Works / Planning	
29. The Applicant shall improve a 20' landscape corridor on Civic Center Drive to the satisfaction of Public Works.	1 st Building Permit	Public Works / Planning	
30. The Applicant shall improve a 16' landscape corridor on Wymark Drive to the satisfaction of Public Works.	1 st Building Permit	Public Works / Planning	
31. The Applicant shall submit plans to the Fire Department and shall comply with any conditions of approval as required by the Fire Department.	Building Permit	Cosumnes CSD Fire Department	
32. All building and unit addressing/numbering shall be approved by Cosumnes CSD Fire Department.	Building Permit	Cosumnes CSD Fire Department	
33. All buildings with 3 or more stories shall be provided with standpipes.	Building Permit	Cosumnes CSD Fire Department	

<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
34. Turns in fire access lanes shall have a minimum inside turning radius of 25 feet and a minimum outside turning radius of 50 feet.	Building Permit	Cosumnes CSD Fire Department	
35. Vehicle gates shall be reviewed and approved by Cosumnes CSD Fire Department	Building Permit	Cosumnes CSD Fire Department	
36. The Applicant shall provide an illuminated address monument with a minimum 6 inch contrasting address numbers at the main entrance.	Building Permit	Cosumnes CSD Fire Department	
37. An illuminated directory board shall be provided at each entrance and shall be reviewed and approved by Cosumnes CSD Fire Department.	Building Permit	Cosumnes CSD Fire Department	
38. Exterior portions of all buildings shall be within 150 feet of a fire access lane.	Building Permit	Cosumnes CSD Fire Department	
39. Fire hydrants shall be spaced no more than 300 feet apart along the fire access lane.	Building Permit	Cosumnes CSD Fire Department	
40. Dead end fire access lands shall not exceed 150 feet.	Building Permit	Cosumnes CSD Fire Department	
41. The Applicant shall submit plans to the Sacramento County Water Agency and shall comply with any conditions of approval as required by the Sacramento County Water Agency.	Building Permit	Sacramento County Water Agency	
42. The Applicant shall submit plans to the Sacramento County Sewer District and shall comply with any conditions of approval as required by the Sewer District.	Building Permit	Sewer District	
43. The Applicant shall comply with any conditions of approval as required by the Police Department.	Building Permit	Police Department	
44. Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the monument and building signage. Signage design shall be consistent with the architecture of the development to the satisfaction of the Planning Director.	Building Permit	Planning	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
45.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the garages. Garage design shall be consistent with the architecture of the development to the satisfaction of the Planning Director.	Building Permit	Planning	
46.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the carports. Carport design shall be consistent with the architecture of the development to the satisfaction of the Planning Director.	Building Permit	Planning	
47.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the pool fence to the satisfaction of the Planning Director.	Building Permit	Planning	
48.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the on-site light standards to the satisfaction of the Planning Director.	Building Permit	Planning	
49.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the Community Building consistent with the architecture of the development to the satisfaction of the Planning Director.	Building Permit	Planning	
50.	Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the patio and stair railings (finish and style) to the satisfaction of the Planning Director.	Building Permit	Planning	
51.	The enhanced pedestrian node at the northern property line shall be designed consistent with the Elk Grove Town Center and the Laguna Ridge Supplemental Design Guidelines and shall include enhanced features and amenities, including but not limited to: benches; arches; and water and/or landscape features, all subject to the satisfaction of the Planning Director.	Building Permit	Planning	

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
52. Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the HVAC screening wall. Design shall be consistent with the architecture of the development and to the satisfaction of the Planning Director.	Building Permit	Planning	
53. Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of all building attached lighting. Design shall be to the satisfaction of the Planning Director.	Building Permit	Planning	
54. The stucco on all buildings of the development shall have a smooth finish to the satisfaction of the Planning Director.	Building Permit	Planning	
55. Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the Color and Materials Board. Final color and materials shall be to the satisfaction of the Planning Director.	Building Permit	Planning	
56. The Applicant shall modify the elevations to include additional banding and color differentiation prior to the first building permit to the satisfaction of the Planning Director.	Building Permit	Planning	
57. Prior to the issuance of the first building permit, the Applicant shall submit for review and approval the design of the down spouts (finish, style, and color) and modify the elevation illustration to include the down spouts prior to the issuance of the first building permit to the satisfaction of the Planning Director.	Building Permit	Planning	
58. The Applicant shall submit a photometric plan for review and approval by the Fire Department and to the satisfaction of the Planning Director.	Building Permit	Planning	
59. Each parcel with a sewage source shall have a separate connection to the SASD public sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or SASD public sewer line.	Building Permit	SASD	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
60.	Connection to the SASD sewer system shall be required to the satisfaction of SASD. SASD Design Standards apply to any on and off-site sewer construction.	Building Permit	SASD	
61.	The applicant shall install wrought iron fencing along the northern property line to remain in place until the commercial property immediately north of the project site becomes developed. The design of the wrought iron fence shall be reviewed and approved by the Planning Director.	Building Permit	Planning	
62.	The applicant shall move the pedestrian pathway to the south to connect to the pathway from Big Horn Boulevard.	Building Permit	Planning	
<u>Prior to Occupancy</u>				
63.	Upon completion of the installation of the landscaping for the project, the project landscape architect/designer shall certify that the installed landscape complies with all City Water Conserving Landscape Requirements. Certification shall be accomplished by completion of a Certificate of Conformance on a form provided by the City. Failure to submit a complete and accurate Certificate of Conformance to the Planning Department may delay final approval/occupancy of the project.	Prior to Occupancy	Landscape/ Planning	
64.	Prior to final inspection or occupancy of any structure on the site a Certificate of Conformance for the landscaped areas shall be provided to the City's landscape architect for approval.	Prior to Occupancy	Landscape/ Planning	

General Compliance Items for Building Permit

The following items are noted for the Applicant's information. These items are required by other local agencies, the City, state or federal agencies, and are not conditions of approval of the project.

- a. The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works.
- b. If there are any discrepancies between the approved tentative map and the conditions of approval, the conditions of approval shall supersede the approved tentative map. (Public Works)
- c. The Applicant shall pay all appropriate development fees charged by the City and other Special Districts providing services to the site. (Public Works)
- d. Any public improvements damaged during construction shall be replaced, by the Applicant, in-kind or with new improvement. (Public Works)
- e. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees, by the Applicant. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches. (Public Works)
- f. Streets shall be closed to the public until Department of Public Works, Division of Traffic Engineering and the project engineer determine the appropriate traffic control devices required and said devices are installed to the satisfaction of Public Works. Road closure devices shall be in place immediately and maintained in-place at all times upon completion of paving. Road closure may also require alternative accesses to both building and improvements construction traffic. The type of road closure devices shall be determined and approved by Public Works. (Public Works)
- g. Each lot shall have one driveway. Additional driveways may be approved by Public Works. Covenants, Conditions and Restrictions shall be recorded over all parcels within the tentative map. The Covenants, Conditions and Restrictions shall include the number of driveways each parcel is allowed. (Public Works)
- h. Improvement related conditions can be satisfied by completing an approved design, executing an improvement agreement and providing suitable financial security (e.g. bonds, letter of credit, etc), all to the satisfaction of the City, prior to the implementation timing required by the condition. (Public Works)
- i. The Applicant may be eligible for reimbursement for the design and construction of infrastructure included in fee programs and/or financing districts as set forth in the respective programs and/or districts. In order to ensure eligibility for reimbursement, the Applicant must follow the policies and procedures in the latest version of "REIMBURSEMENT POLICIES AND PROCEDURES FOR PRIVATELY CONSTRUCTED PUBLIC FACILITIES", which is available from the Public Works Department. (Public Works)
- j. If the Applicant is to record multiple final maps, each phase shall be reviewed by Public Works to determine the improvements required for that phase. (Public Works)
- k. The Applicant shall design and construct all driveways in accordance with Section 4-10 of the City Improvement Standards to the satisfaction of Public Works. (Public Works)
- l. All driveways and intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standards. (Public Works)

- m. The Applicant shall submit and obtain City approval of plans and specifications for the construction of public improvements and all grading. The drainage system shall be designed in accordance with the accepted Drainage Study to accommodate runoff from the ultimate development and shall meet the City of Elk Grove Improvement Standards, construction standards, storm water design standards, and City of Elk Grove Flood Plain Management Plan and Ordinance in effect at the time of Improvement Plan approval. Street gutter flowlines shall be designed to be above the 10-year frequency flood elevation pursuant to the Floodplain Management Plan. (Public Works)
- n. The Applicant shall complete grading and construct all on-site and off-site drainage improvements in accordance with the approved Improvement Plans. Fulfill all requirements of federal and state permits. (Public Works)
- o. The Applicant shall comply with the regulations of the Federal Emergency Management Agency (FEMA) and the City of Elk Grove Flood Plain Management Ordinance. The lowest finished floor elevation for a habitable building will be a minimum of 1 (one) – foot above the 100-year frequency water level, certified by a registered Civil Engineer or licensed Land Surveyor, and submitted to the City. Amendments and/or revisions of FEMA flood insurance rate maps will be required for all development located in the federal or local flood zone. All FEMA map revisions (both CLOMR and LOMR) must be approved by the City and fully processed through FEMA. Completed revisions shall be placed on file with the City. (Public Works)
- p. The Applicant shall prepare a Storm Water Pollution and Prevention Plan (SWPPP) to be executed through all phases of grading and project construction. The SWPPP shall incorporate Best Management Practices (BMPs) to ensure that potential water quality impacts during construction phases are minimized. These measures shall be consistent with the City's Improvement Standards and the Land Grading and Erosion Control Ordinance. The SWPPP shall be submitted to the Central Valley Regional Water Quality Control Board for approval and to the City for review. During construction, the applicant shall implement actions and procedures established to reduce the pollutant loadings in storm drain systems. The project applicant shall implement Best Management Practices (BMPs) in accordance with the SWPPP and the City of Elk Grove Improvement Standards. (Public Works)
- q. In order to mitigate erosion and sediment control problems on the project site, the project shall comply with the City's Land Grading and Erosion Control Ordinance. If the project size is more than one acre, a Notice of Intent (NOI) shall be filed to obtain coverage under the California State Water Resources General Construction Activity Storm Water Permit. Permits are issued by the State Water Resources Control Board, which can provide all applicable information to complete and file the necessary documents. Applicant shall comply with the terms of the general construction permit, the City of Elk Grove Municipal Code, and the NPDES Waste Discharge Requirements for the City of Elk Grove Municipal Storm Sewer Discharges. (Public Works)
- r. The Applicant shall obtain applicable California Department of Fish and Game, U.S. Army Corps of Engineers and other required state and federal permits. The conditions of such permits must be reviewed and considered acceptable by the City. The City will not accept any conservation or other conditional easements on the drainage courses to be conveyed to the City. (Public Works)
- s. Each condition of approval shall be satisfied prior to the issuance, approval, and/or the acceptance of the item(s) listed in the Timing/Implementation column. (Public Works)

- t. All applicants should be aware that as of January 1, 2011 a new California Building Code cycle will be taking effect and all projects determined to be permitted after that date will require all submitted project design documents to be in compliance with the new 2010 California Building Code (CBC), 2010 California Plumbing Code (CPC), 2010 California Mechanical Code, 2010 California Electrical Code (CEC), 2010 California Energy Code, 2010 California Fire Code & 2010 California Green Building Standards Code. (Building Department)
- u. SASD Advisories:
It is expected that the onsite sewer for this multi-family apartment project will be private. Connection to public sewer is proposed to be made at an existing manhole in Civic Center Drive, approximately 400 feet east in the intersection of Civil Center Dr and Wymark Drive.

Developing this property will require the payment of sewer impact fees. Impact fees shall be paid prior to filing and recording the Final Map or issuance of Building Permits, whichever is first. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.

The following items are standard fire department comments clearly addressed in policy and guidelines. This information is provided only to clarify the scope of requirements typical for most individual projects. Specific requirements may vary and will be clarified in the plan checking/plan review process prior to each project. The following comments should be included in the Planning/Environmental document report:

1. Dead-end streets in excess of 150 feet require emergency vehicle turn-around.
2. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code.
3. If homes exceeding 3,600 square feet (including garages and covered porches) will be built in this subdivision, additional fire flow analysis of the water system must be conducted.
4. An approved automatic fire sprinkler system shall be installed within all new R-3 occupancies with the total floor area exceeds 5,999 square feet and or the total of the living area exceeds 4,999 square feet.
5. As of February 1, 2003, all contractors for single-family homes and duplexes (R-3 Occupancies) shall provide an option for residential fire sprinklers. Prior to the prospective buyer signing sales contract, the contractor or their agent shall obtain from the Fire Department an informational packet containing education materials approved by the fire Department, including a form explaining the option for residential sprinklers. The contractor or their agent shall provide the approved informational packet to any and all prospective buyers and require the execution of signed receipt for the educational material from the prospective buyer. The contractor shall install residential fire sprinklers upon the request and execution of a purchase agreement by the homebuyer. Fire sprinkler systems for single-family homes and duplexes shall be designed and installed to not less than the minimum requirements contained in NFPA 13D, 1996 edition.

6. All civil engineering plans are required to be submitted in an electronic format. When plans are ready for final signature, it is required that the engineering firm submits an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:

DXF (Drawing Interchange file) any DXF version is accepted)

DWG (Applies to AutoCAD drawing file) any AutoCAD DWG version is accepted

7. Address for all lots shall be provided to the Fire Department within sixty days of Fire Department signature of approval for development plans.
8. No more than 40 building permits shall be issued when a single point of access exists for a subdivision. Since there is no process in place for confirming the sequence in which multiple units are built, the above information should be considered and the Cosumnes CSD FD should be consulted on this matter.
9. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
10. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 5% for concrete. The roadways shall be constructed to a 20-foot minimum width of three (3) inches AC over six (6) inches AB with good drainage.
11. CCSDFD approved traffic pre-emption devices of a type approved by the Cosumnes CSD Fire Department shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Cosumnes CSD Fire Department shall Fire Department.
12. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Cosumnes CSD Fire Department and the water purveyor having jurisdiction.
14. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls tree wells and/or all other traffic calming devices is subject to standards outlined by the Cosumnes CSD Fire Department. All proposed traffic-mitigation plans shall be submitted to the Cosumnes CSD Fire Department for review and approval prior to installation.
15. The wetlands/riparian corridors of creeks create an unusual fire hazard and challenge to emergency responders. The following requirements apply:

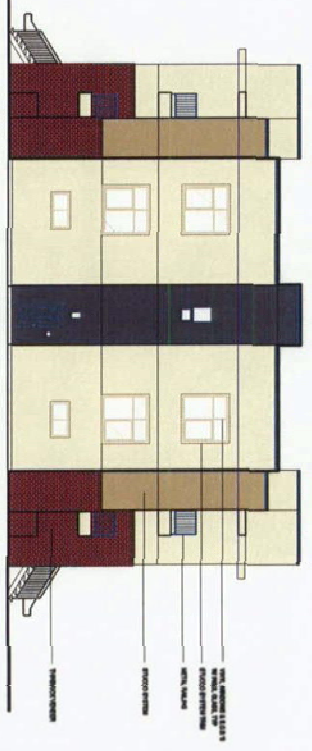
- a. Provide non-combustible fences along all developed areas adjacent to wetlands, creeks, or open spaces.
- b. Provide access to all wetland corridors at the end of cul-de-sacs via rolled curbs and gates with pipes or bollards. Bike lands adjacent to creeks shall be a minimum of 10 feet wide with a turning radius of not less than 35 feet inside and 45 feet outside diameters.
- c. Any bridges over creeks or wetland areas shall be capable of supporting 65,000 GVW.
- d. Provide at least of ten (10) feet of greenbelt or other defensible space between non-combustible fences and the creek/wetlands area.



BLDG TYPE B - FRONT / REAR ELEVATION



BLDG TYPE B BLDG - SIDE ELEVATION



BLDG TYPE B BLDG - SIDE ELEVATION



GRUBBS ASSOCIATES

 ARCHITECTS

LAGUNA RIDGE APARTMENTS

 204 UNIT MULTI-FAMILY APARTMENT PROJECT

CIVIC CENTER DRIVE

 ELK GROVE, CALIFORNIA

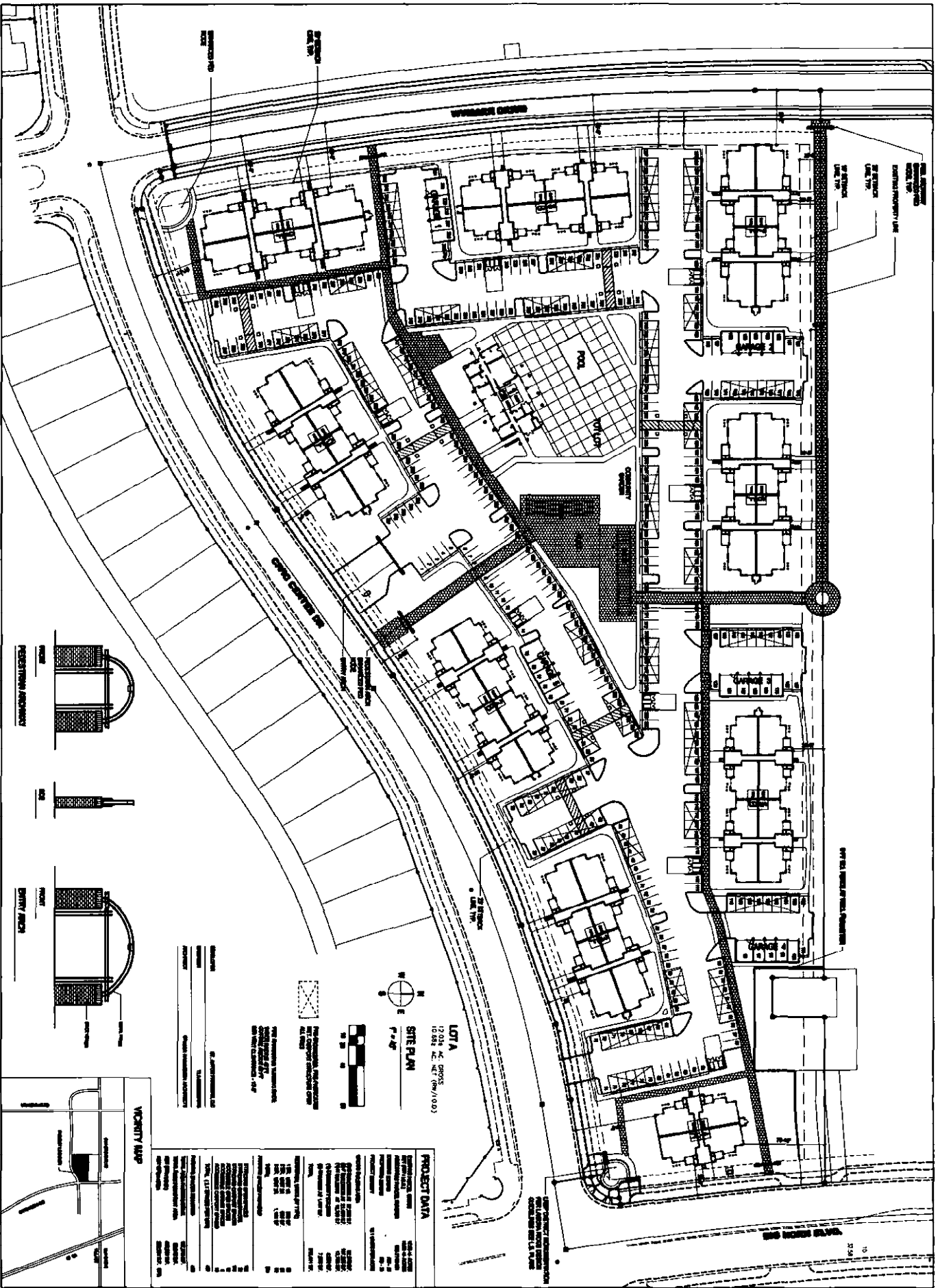
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 ARCHITECTS

SHEET NO.

DATE

B-4



LOT A
12,000 ± SQ. FT. (9,000 ±)

SITE PLAN
P. 1-2



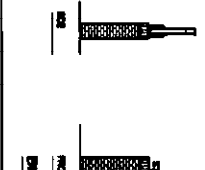
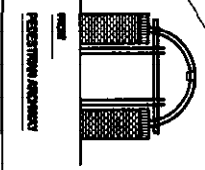
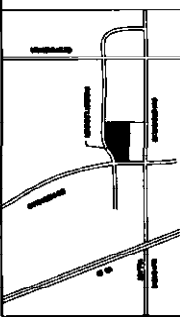
THESE SYMBOLS INDICATE THE LOCATION OF THE FOLLOWING:

- EXISTING IMPROVEMENTS
- NEW CONSTRUCTION
- LANDSCAPING
- UTILITY LOCATIONS

DATE: 11/11/00
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROJECT DATA	
PROJECT NAME	ELK GROVE APARTMENTS
PROJECT ADDRESS	304 UNIT MULTIFAMILY APARTMENT PROJECT
PROJECT CITY	ELK GROVE, CALIFORNIA
PROJECT COUNTY	SACRAMENTO COUNTY
PROJECT STATE	CALIFORNIA
PROJECT ZIP	95624
PROJECT PHONE	(916) 438-1234
PROJECT FAX	(916) 438-5678
PROJECT EMAIL	ELK.GROVE@STANTON.COM
PROJECT WEBSITE	WWW.ELKGROVEAPARTMENTS.COM
PROJECT ARCHITECT	STANTON CALIFORNIA
PROJECT ENGINEER	STANTON CALIFORNIA
PROJECT DATE	11/11/00
PROJECT SCALE	AS SHOWN
PROJECT SHEET	S-1
PROJECT TOTAL SHEETS	10

NEIGHBOR MAP



S-1

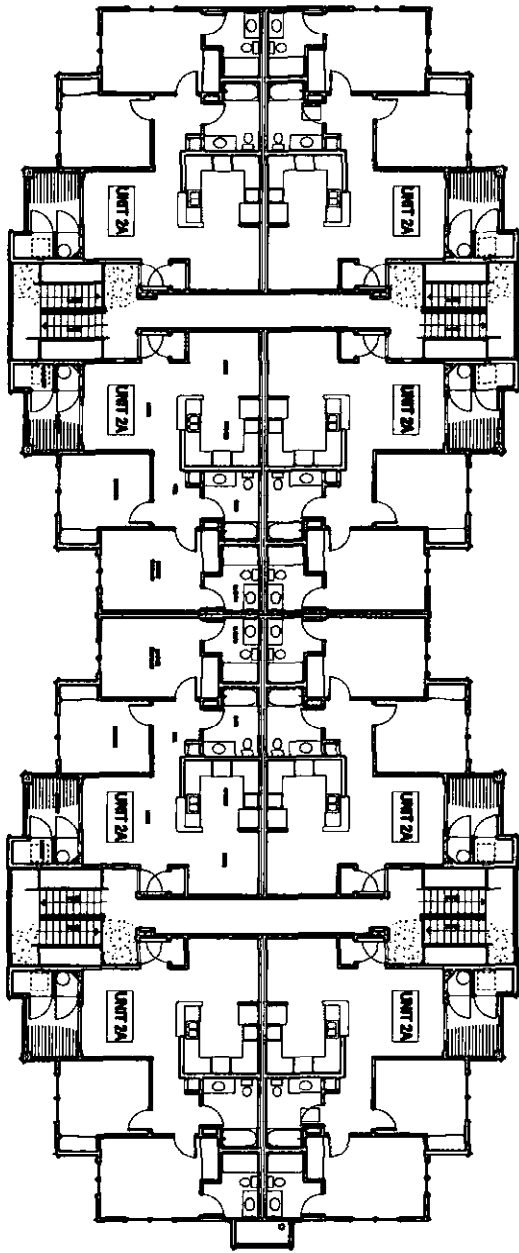
STANTON CALIFORNIA

ELK GROVE APARTMENTS
 304 UNIT MULTIFAMILY APARTMENT PROJECT
 GRAND CENTER DRIVE
 ELK GROVE, CALIFORNIA

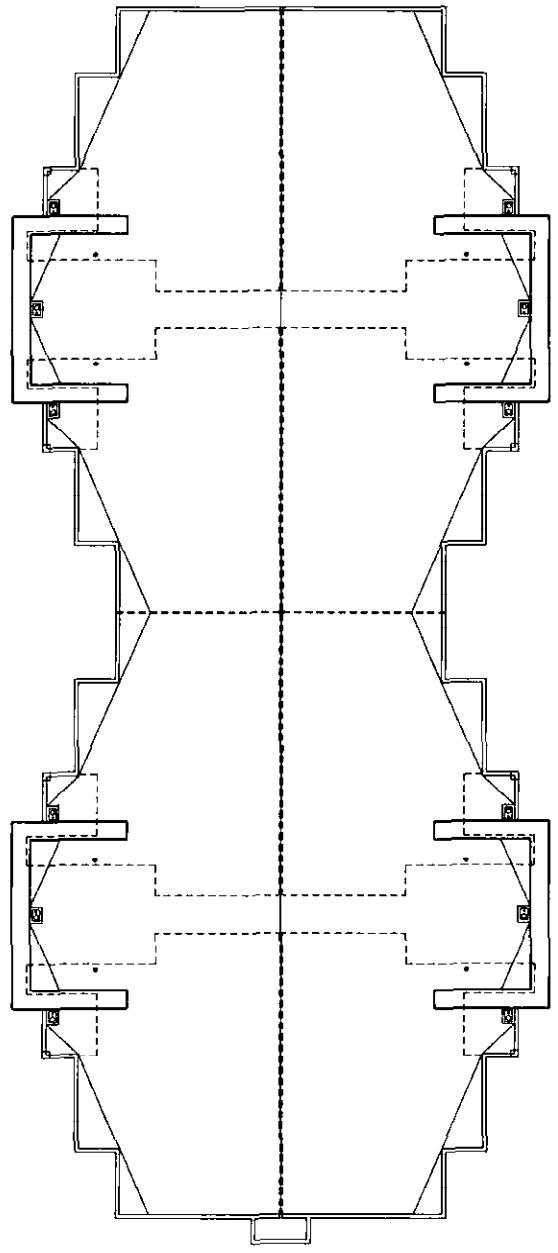
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STANTON CALIFORNIA

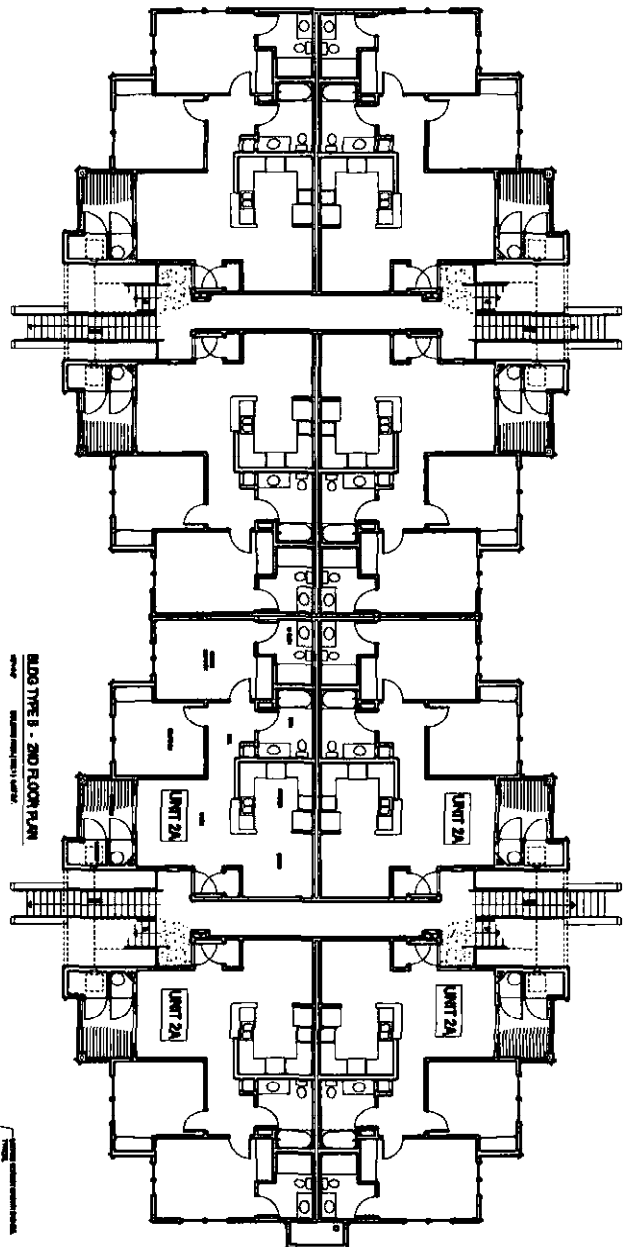
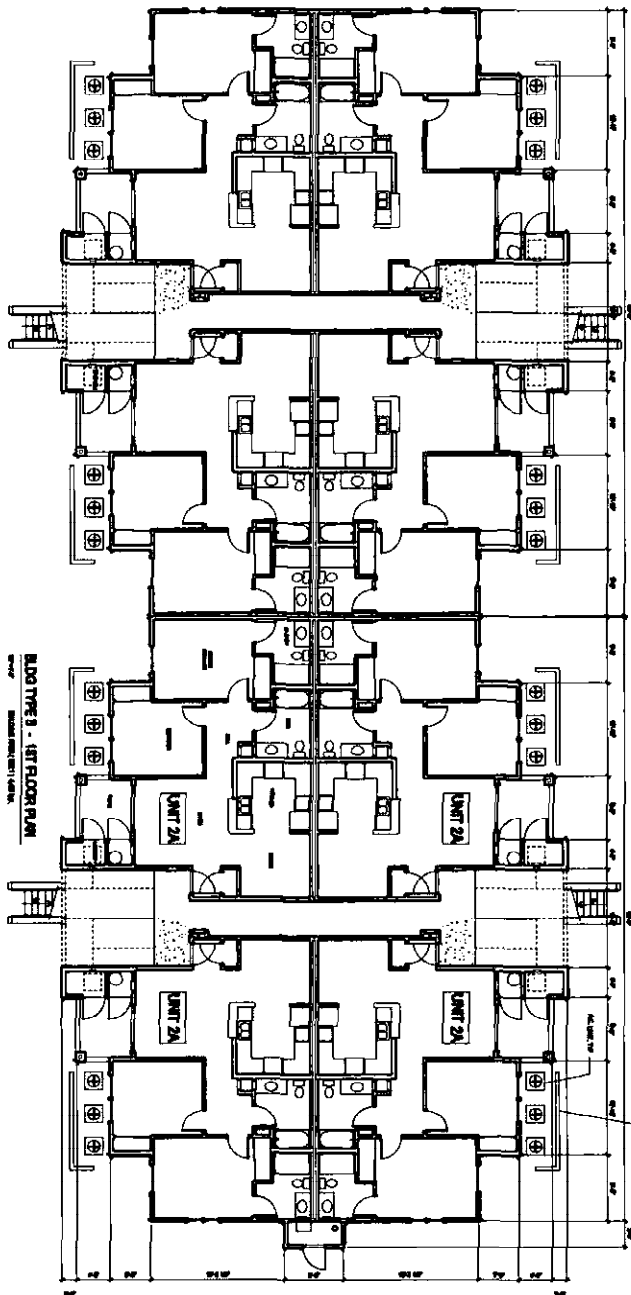
STANTON CALIFORNIA



BLDG TYPE B - 800 FLOOR PLAN
DATE: 08/11/03



BLDG TYPE B - ROOF PLAN
DATE: 08/11/03



B-1

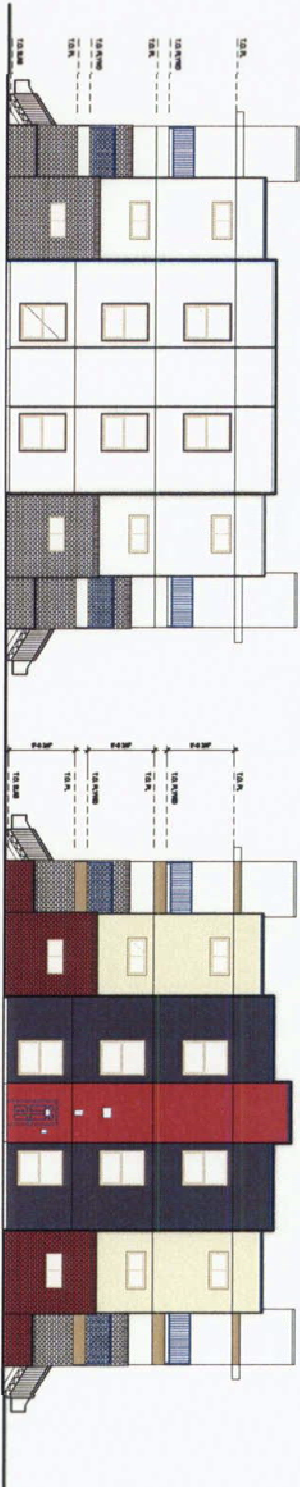
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 EASTMAN

LAGUNA RIDGE APARTMENTS
 204 UNIT MULTIFAMILY APARTMENT PROJECT
 6100 CENTER DRIVE
 ELK GROVE, CALIFORNIA

GENERAL NOTES
 1. SEE SHEET B-1 FOR UNIT 1 LAYOUT



BLDG TYPE F - FRONT / REAR ELEVATION



BLDG TYPE F - END ELEVATION

BLDG TYPE F - END ELEVATION

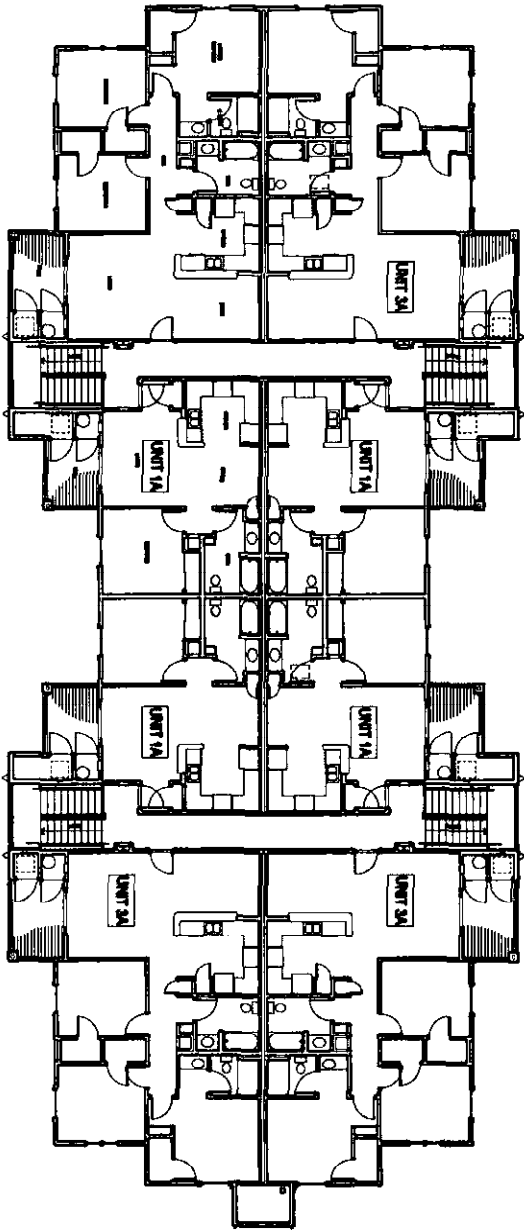

 GRANTEN - INGROSSI
 ARCHITECTS
 REGISTERED ARCHITECTS
 STATE OF CALIFORNIA
 ARCHITECT NO. 10000
 10/2014

LAGUNA RIDGE APARTMENTS
 204 UNIT MULTI-FAMILY APARTMENT PROJECT
 CIVIC CENTER DRIVE
 ELK GROVE, CALIFORNIA

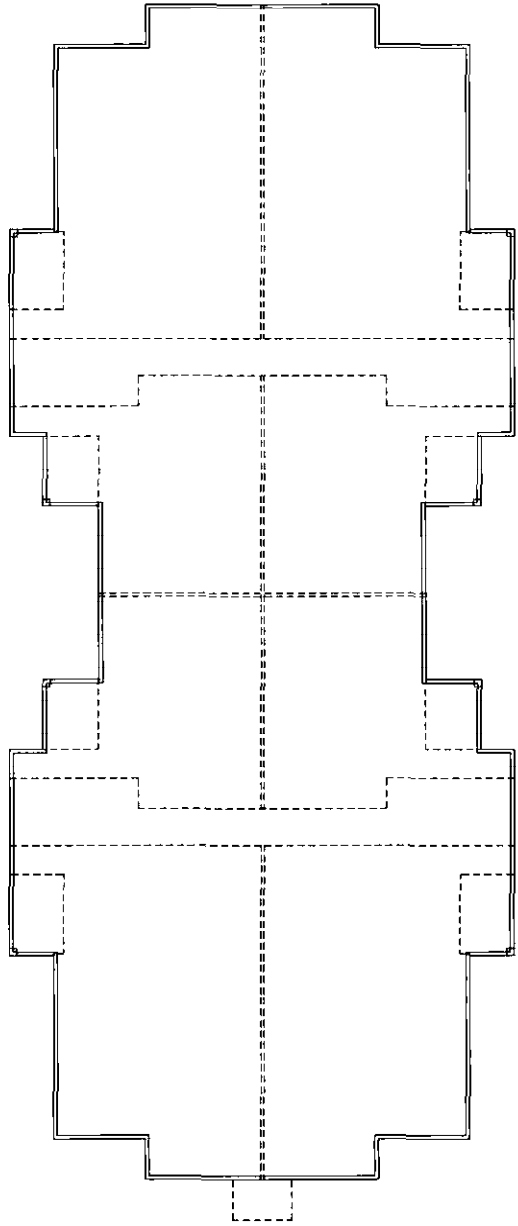
St-Anton
 ARCHITECTS
 10/2014

APPROVED FOR THE CITY OF ELK GROVE
 10/2014

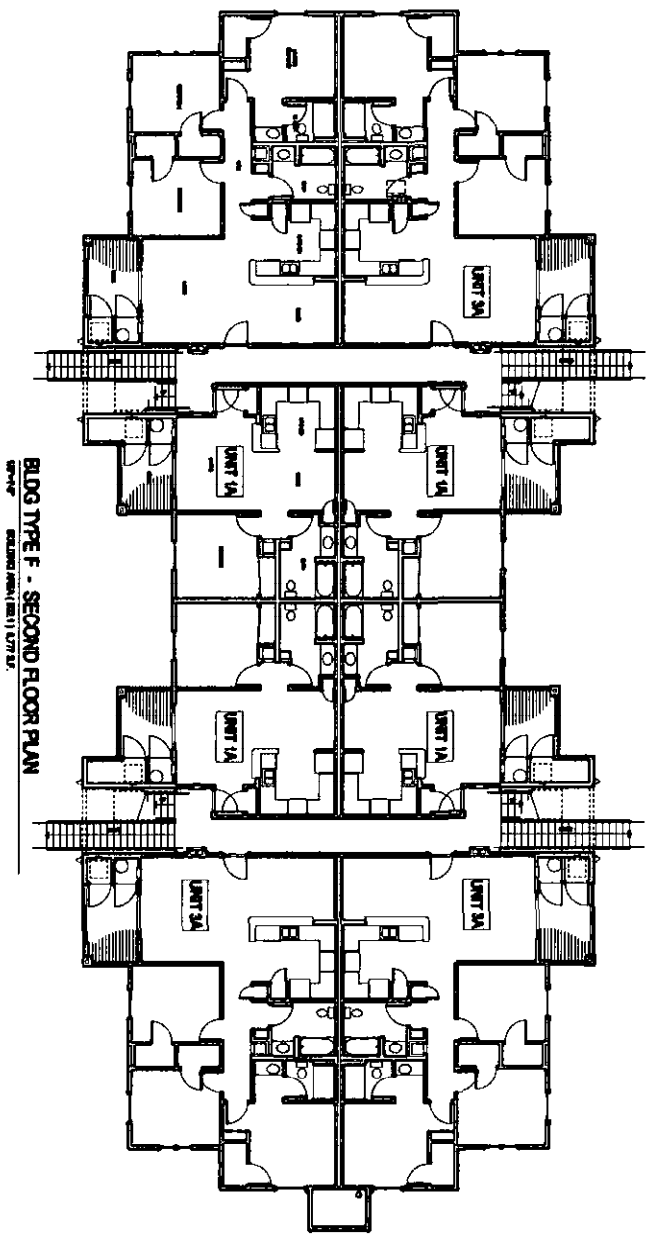
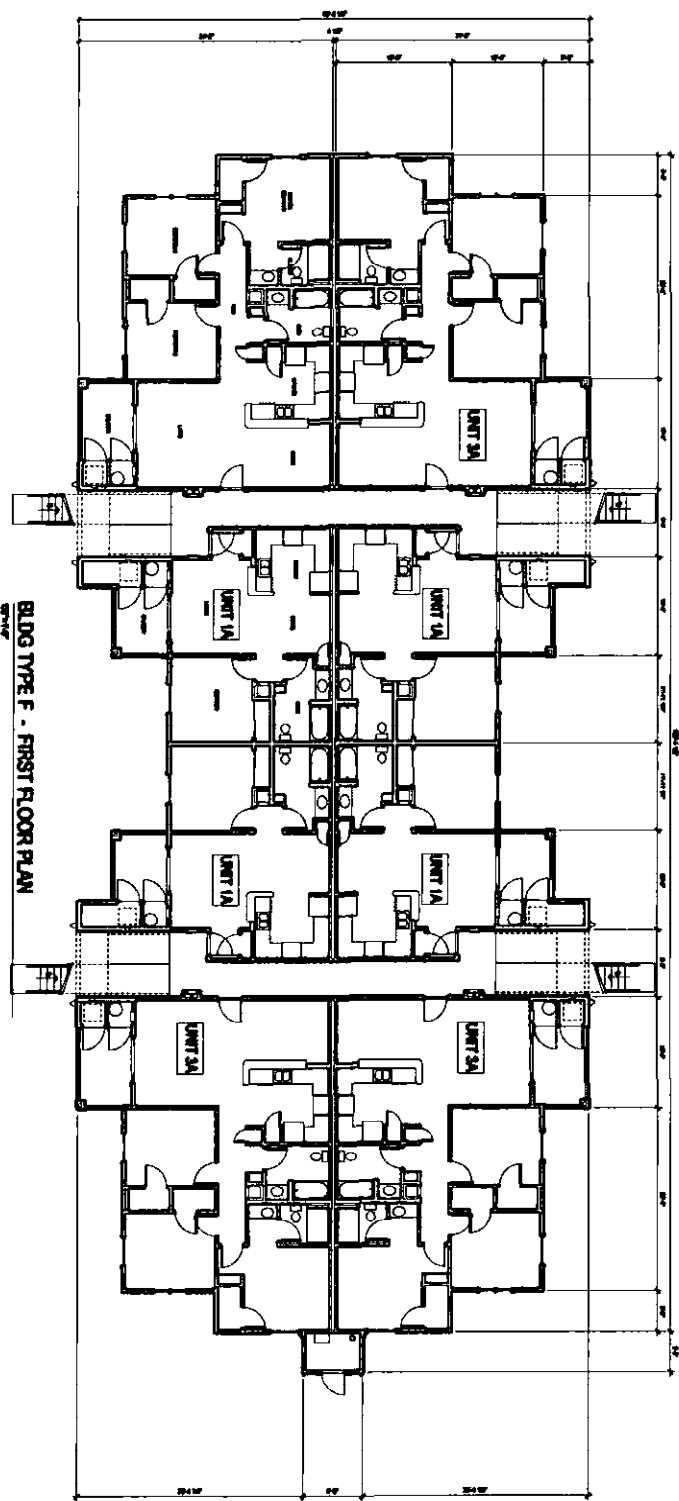
F-4



BLDG TYPE F - THIRD FLOOR PLAN
DATE



BLDG TYPE F - ROOF PLAN
DATE



F-1

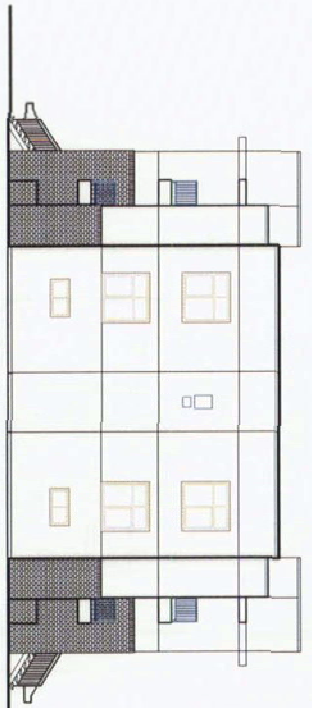


LAGUNA RIDGE APARTMENTS
 204 UNIT MULTI-FAMILY APARTMENT PROJECT
 CIVIC CENTER DRIVE
 ELK GROVE, CALIFORNIA

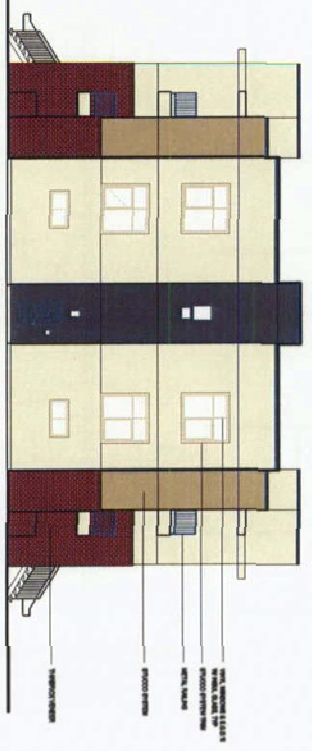





BUILDING TYPE B - FRONT / REAR ELEVATION



BUILDING TYPE B BLDG - SIDE ELEVATION



BUILDING TYPE B BLDG - SIDE ELEVATION



GARDNER-KHOURSEAN
 ARCHITECTS
 10000 WILSON AVENUE
 SUITE 100
 BOSTON, MA 02116
 TEL: 617.552.3300
 FAX: 617.552.3301
 WWW.GKARCH.COM

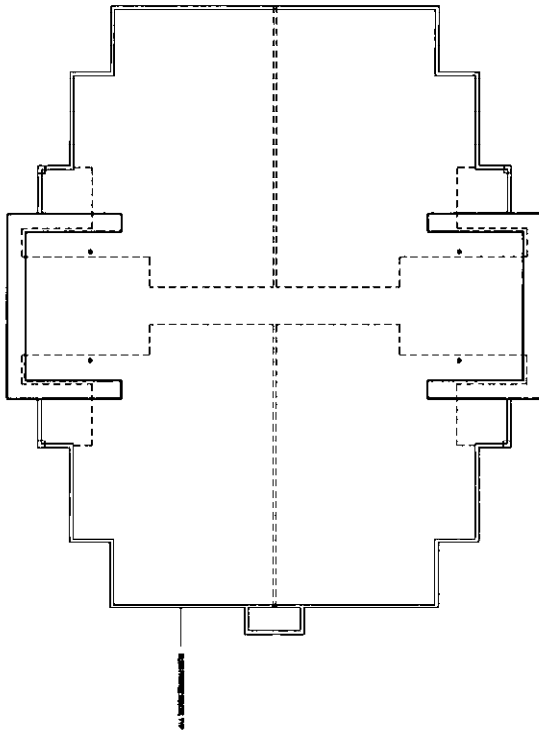
LAGUNA RIDGE APARTMENTS
 204 UNIT MULTI-FAMILY APARTMENT PROJECT
 CIVIC CENTER DRIVE
 ELK GROVE, CALIFORNIA

St-Antoni
 PARTNER

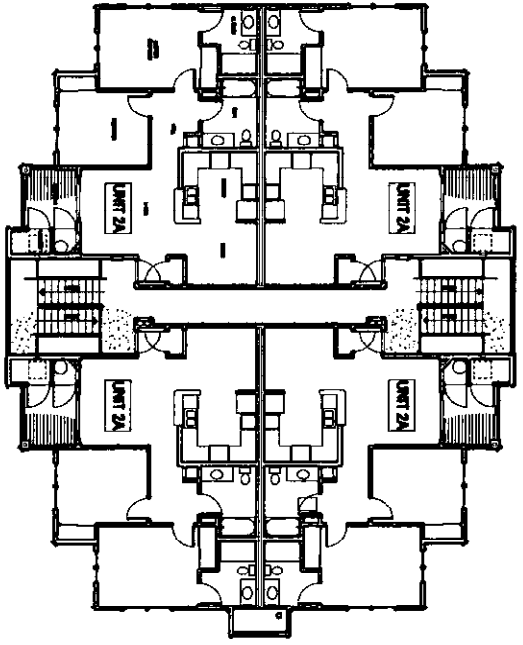
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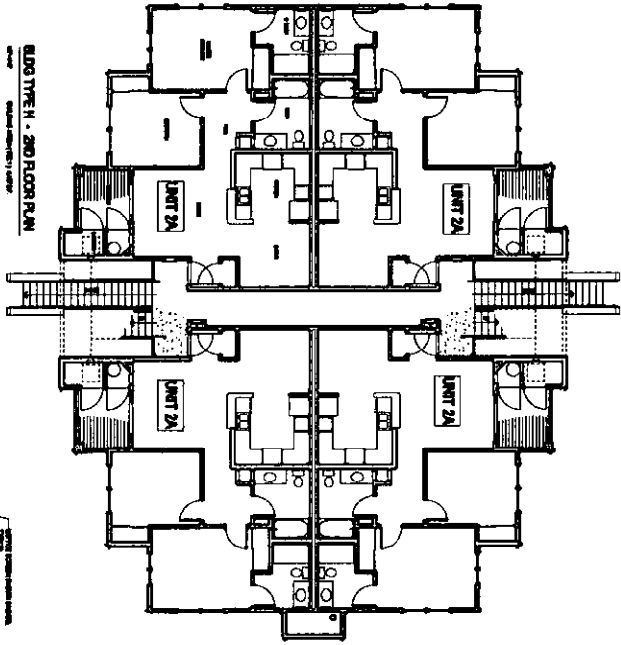
B-4



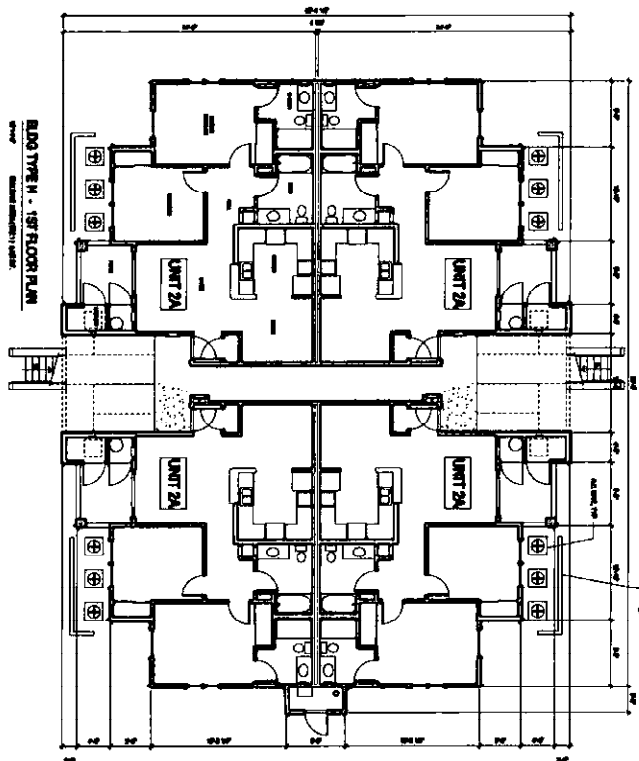
BLDG TYPE H - ROOF PLAN



BLDG TYPE H - 2ND FLOOR PLAN



BLDG TYPE H - 2ND FLOOR PLAN



BLDG TYPE H - 1ST FLOOR PLAN

	Concrete
	Gravel
	Asphalt
	Steel Deck
	Other

LAGUNA RIDGE APARTMENTS
 104 UNIT MULTIFAMILY APARTMENT PROJECT
 6100 CENTER DRIVE
 ELIJAH GROVE, CALIFORNIA

St. Antio
 ARCHITECTS



H-1

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2010-272**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

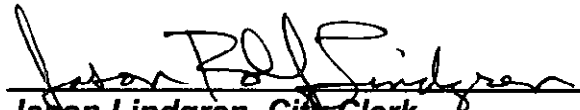
I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on December 8, 2010 by the following vote:

AYES : COUNCILMEMBERS: *Scherman, Detrick, Cooper, Davis, Hume*

NOES: COUNCILMEMBERS: *None*

ABSTAIN : COUNCILMEMBERS: *None*

ABSENT: COUNCILMEMBERS: *None*


**Jason Lindgren, City Clerk
City of Elk Grove, California**